

ROSS STREET AND N. JAMES STREET PARKING LOT

TOWNSHIP OF WOODBRIDGE, MIDDLESEX COUNTY, NEW JERSEY

AUGUST, 2023

CONTRACT # 2023-017

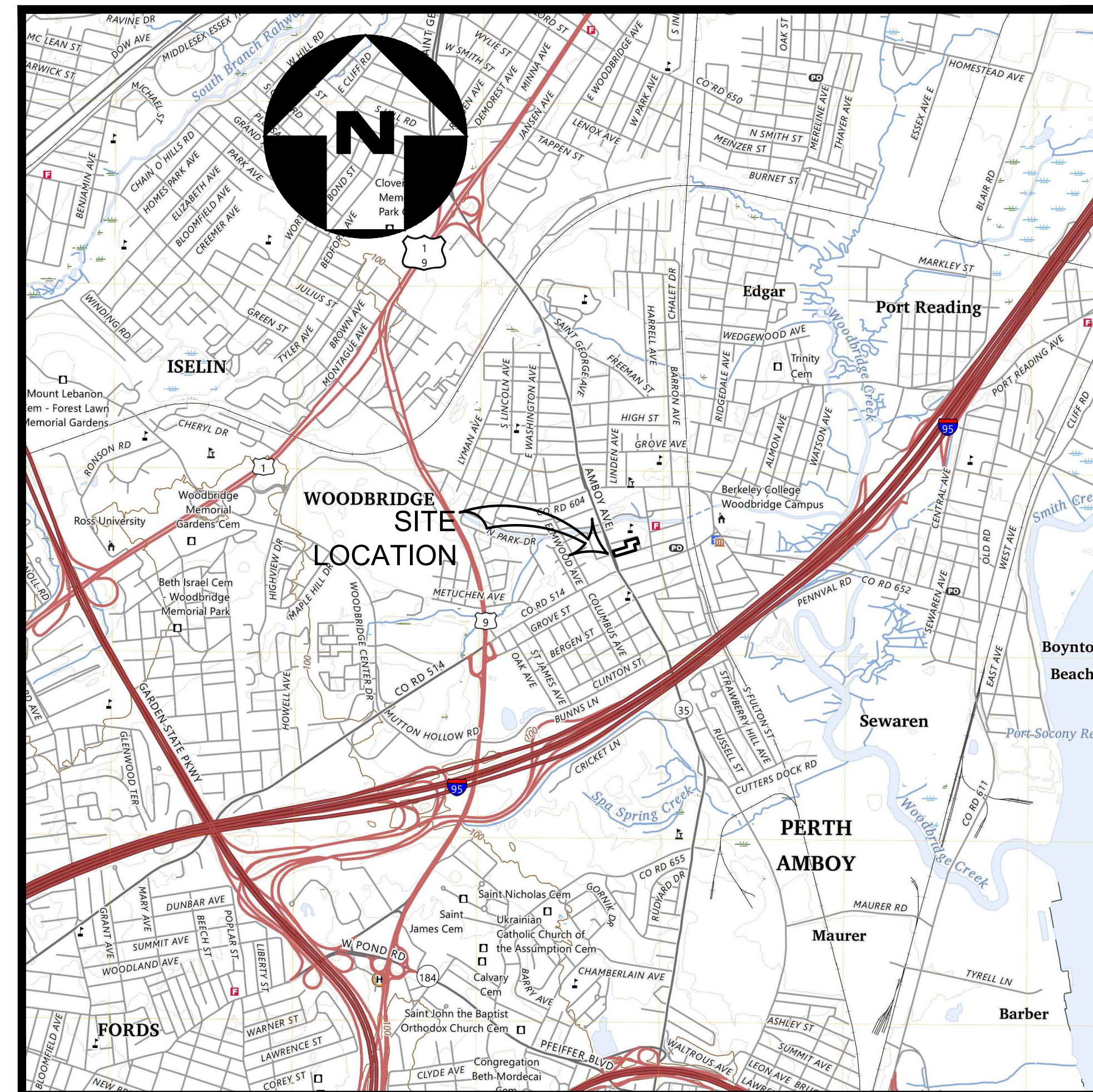


PUBLIC UTILITIES			
UTILITIES	SERVICE	CONTACT	TELEPHONE
ELECTRIC	PSE&G	FRANK LUCCHESI	(609) 638-7608
TELEPHONE	VERIZON	GINA GONNELLA-BARTZ	(908) 412-3984
CABLE	COMCAST	RICHARD GUTUALSKI	(732) 602-7444
GAS	ELIZABETHTOWN GAS COMPANY	BRUCE GARRETT	(908) 662-8311
WATER	MIDDLESEX WATER COMPANY	BRIAN CARR	(732) 634-1500
SEWER	TOWNSHIP OF WOODBRIDGE	MIKE GELIN	(732) 602-6047

JOHN E. McCORMAC - MAYOR

TOWNSHIP COUNCIL

GREGG M. FICARRA	COUNCIL PRESIDENT, COUNCILMAN-AT-LARGE
KYLE ANDERSON	COUNCIL VICE-PRESIDENT, COUNCILMAN-AT-LARGE
SHARON McAULIFFE	COUNCILWOMAN - FIRST WARD
HOWIE BAUER	COUNCILMAN - SECOND WARD
CORY SPILLAR	COUNCILMAN - THIRD WARD
VIRBHADRA N. PATEL	COUNCILMAN - FOURTH WARD
DEBBIE MEEHAN	COUNCILWOMAN - FIFTH WARD
LIZBETH DeJESUS	COUNCILWOMAN-AT-LARGE
BRIAN SMALL	COUNCILMAN-AT-LARGE
VITO CIMILLUCA	BUSINESS ADMINISTRATOR
JOHN M. MITCH	MUNICIPAL CLERK
JAMES P. NOLAN, JR., ESQ.	DIRECTOR OF LAW
GEORGE T. BREW	DIRECTOR OF PUBLIC WORKS
MICHAEL GELIN, PE	MUNICIPAL ENGINEER



KEY MAP

SCALE: 1" = 4000'

SOURCE: U.S.G.S. QUADRANGLE MAP
WOODBRIDGE, NJ-PANEL (PERTH AMBOY)

INDEX OF SHEETS	
SHEET NUMBERS	DESCRIPTION
1	KEY SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	LAYOUT PLAN
4	GRADING PLAN
5	SOIL EROSION AND SEDIMENT CONTROL DETAILS
6	CONSTRUCTION DETAILS
7	CONSTRUCTION DETAILS

UNDERGROUND LOCATION SERVICE CALL: 1-800-272-1000.

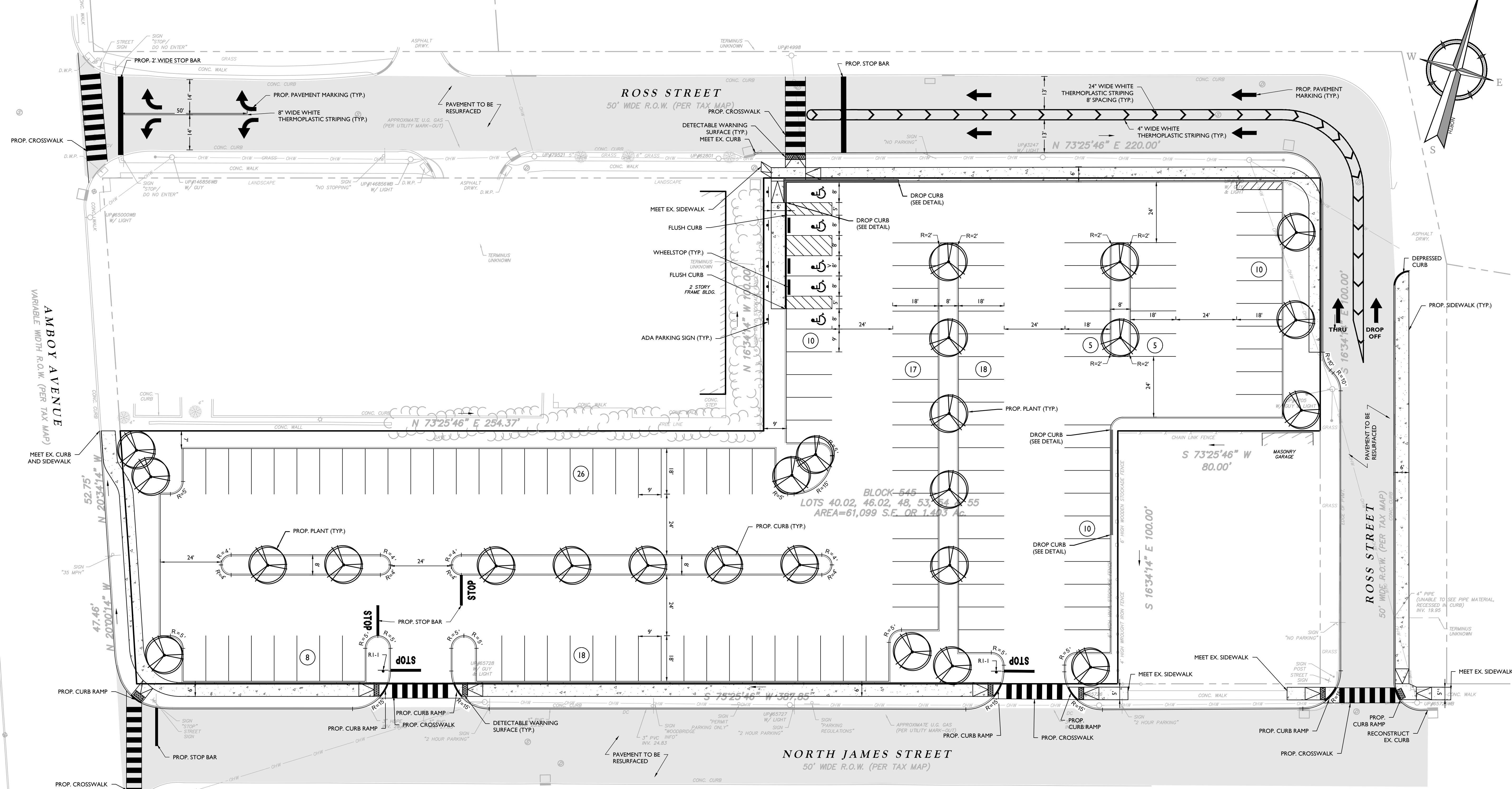
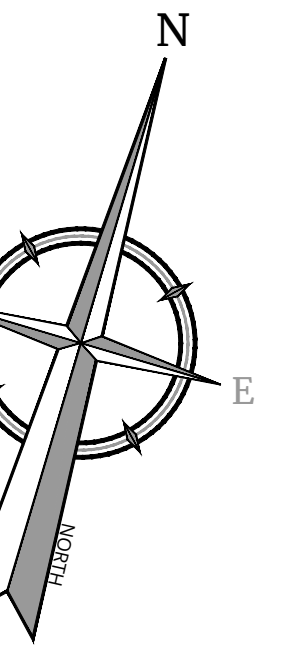
NOTE: LOCATION OF UTILITIES AS SHOWN ON THESE PLANS ARE PLOTTED FROM AVAILABLE DATA ON FILE WITH THE UTILITY COMPANIES AND IS NOT GUARANTEED AS TO EXACTNESS. THE CONTRACTOR IS TO CONTACT UTILITY COMPANIES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL USE THE UTILITY LOCATIONS SHOWN AS AN AID IN DETERMINING EXACT LOCATIONS. CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL SUPPLYING THE TOWNSHIP ENGINEER WITH THE ONE-CALL CONFIRMATION NUMBER.

THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF 2019 TO GOVERN, AS MODIFIED BY THE TECHNICAL SPECIFICATIONS.

NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD ROADWAY CONSTRUCTION/TRAFFIC CONTROL/BRIDGE CONSTRUCTION DETAILS (2016) AND ELECTRICAL DETAILS (2007) ARE APPLICABLE TO THIS PROJECT EXCEPT FOR THOSE DETAILS CONTAINED HEREIN.

Colliers Engineering & Design
www.colliersengineering.com
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 HAMILTON
 1000 Waterview Drive,
 Suite 201
 Hamilton, NJ 08691
 Phone: 609.581.8200
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Mark J. Janiszewski
 NEW JERSEY LICENSED PROFESSIONAL ENGINEER
 LICENSE NUMBER: GE45561
 COLLIER'S ENGINEERING & DESIGN, INC.
 N.J. C.O.A. #: 246A-27986500



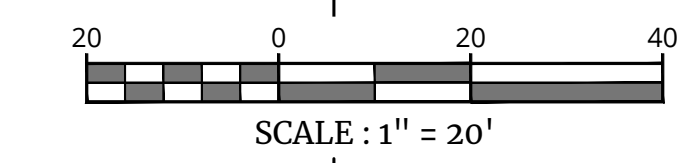
CONSTRUCT:

2,634	CY	EXCAVATION, UNCLASSIFIED
9,762	SY	DENSE-GRADED AGGREGATE BASE COURSE, 6" THICK
4,019	SY	HMA MILLING, 3" OR LESS
4,300	LF	POLYMERIZED JOINT ADHESIVE
977	GAL	TACK COAT
1,171	T	HOT MIX ASPHALT 9.5 M 64 SURFACE COURSE
1,171	T	HOT MIX ASPHALT 19 M 64 BASE COURSE
456	SY	CONCRETE SIDEWALK, 4" THICK
9	SY	DETECTABLE WARNING SURFACE
3,450	LF	9" X 20" CONCRETE VERTICAL CURB
1,545	SY	TOPSOIL SPREADING 4" THICK
773	CY	BORROW TOPSOIL
1,545	SY	FERTILIZING AND SEEDING, TYPE A-4
172	SY	STRAW MULCHING
44	UNIT	PURPLE CONEFLOWER
46	UNIT	CARDINAL FLOWER
58	UNIT	BLACK EYED SUSANS
55	UNIT	BONESET
72	UNIT	NEW ENGLAND ASTER
114	UNIT	BLUE FLAG IRIS
90	UNIT	BLUE STEM GOLDENROD
70	UNIT	RED TWIG DOGWOOD
25	UNIT	JERSEY TEA
48	UNIT	SOFT RUSH
10	UNIT	SWITCHGRASS
53	UNIT	DEER TONGUE
27	UNIT	INDIAN GRASS
59	UNIT	PURPLE FLOWER
1	UNIT	CARDINAL FLOWER
69	UNIT	BLUE STEM GOLDENROD

NOTES

- THE SUBJECT PROPERTY IS KNOWN AS BLOCK 545, LOTS 40.02, 46.02, 48.02, 53.04 & 55 AS SHOWN ON SHEET 56 OF THE OFFICIAL TAX MAP OF WOODBRIDGE TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY, LAST REVISED DECEMBER 2020.
- THE PROPERTY IS LOCATED IN THE DA-4 (DOWNTOWN AREA) DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 1.403± AC. AFTER DEDICATION.
- THE SUBJECT PROPERTY IS PRESENTLY DEVELOPED AND CONTAINS SEVERAL STRUCTURES AND A PARKING LOT. THE APPLICANT PROPOSES TO REMOVE THE EXISTING STRUCTURES AND TO CONSTRUCT A PARKING LOT WITH 127 PARKING SPACES, AND ASSOCIATED ROADWAY IMPROVEMENTS, INCLUDING THE RESURFACING OF ROSS STREET AND THE RESURFACING OF THE SHOWN LIMITS OF NORTH JAMES STREET.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR WOODBRIDGE TOWNSHIP, BLOCK 545, LOTS 40.02, 46.02, 48.02, 53.04 & 55" PREPARED BY COLLIER'S ENGINEERING & DESIGN DATED JULY 25, 2023.
- THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- BENCHMARK REFERENCE: BENCHMARK #1 ELEVATION 52.35 FEET NAVD 1988.

EXISTING	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) 12+00 TO 13+00
	RIGHT OF WAY LINE
	PROPERTY LINE
	EDGE OF PAVEMENT
	CURB
	DEPRESSED CURB
	SIDEWALK
	FENCES
	TREE LINE
	ROADWAY SIGNS
	WETLAND LINE
	MUNICIPAL BOUNDARY LINE
	STALL COUNT (10)
	ADA ACCESSIBLE STALL
	DEPRESSED CURB AND ADA RAMP
	DIRECTION OF TRAFFIC FLOW



SCALE: 1" = 20'

811 PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF INDICATORS, DEVICES, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE NOWHERE IN ANY STATE.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DRAWN BY	DESCRIPTION

Colliers Engineering & Design

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WOODBRIDGE TOWNSHIP

LAYOUT PLAN

ROSS STREET AND N. JAMES STREET PARKING LOT

WOODBRIDGE TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	7/31/23	SJD	XXX

PROJECT NUMBER	DRAWING NAME
23004014B	C-LAYT-2

Mark J. Janiszewski
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE45561
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 24GA27986500

3 OF 7

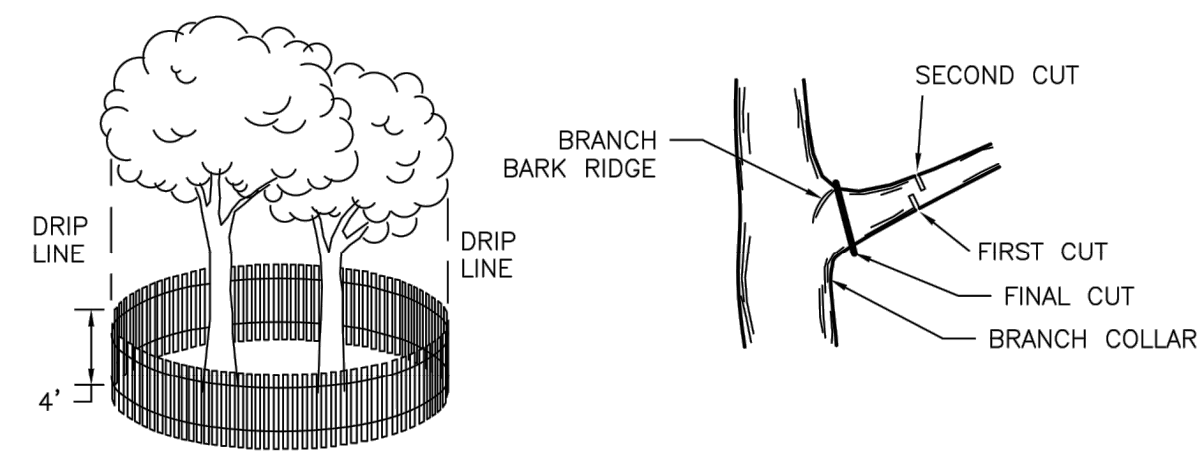
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

2023/08/04/14/Engineering/2023/Plan/23004014B/C-LAYT-2.dwg/23004014B.dwg

1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" -2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM F 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

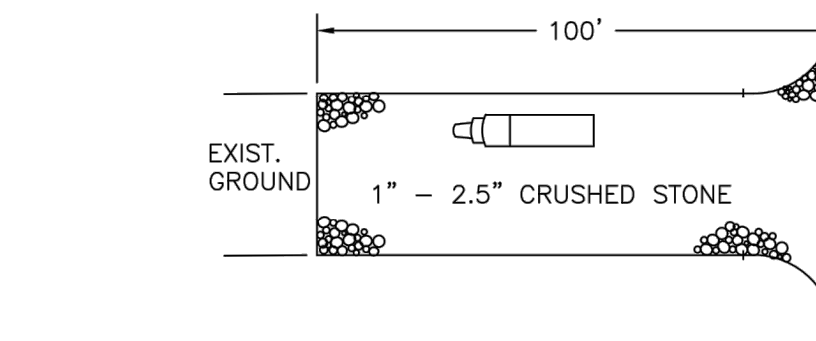
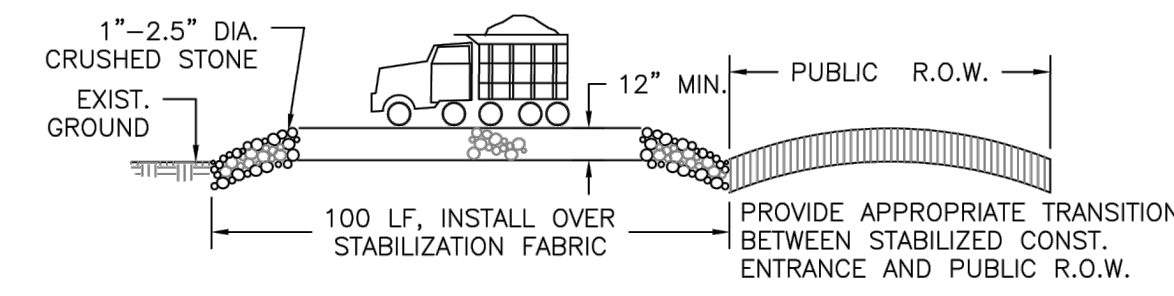
CURRENT AS OF SEPT. 2020

4000 Kozloski Road,
Freehold, NJ 07728-5033
Phone: (732) 683-8500
Fax: (732) 683-9140
Email: info@freeholdscd.org

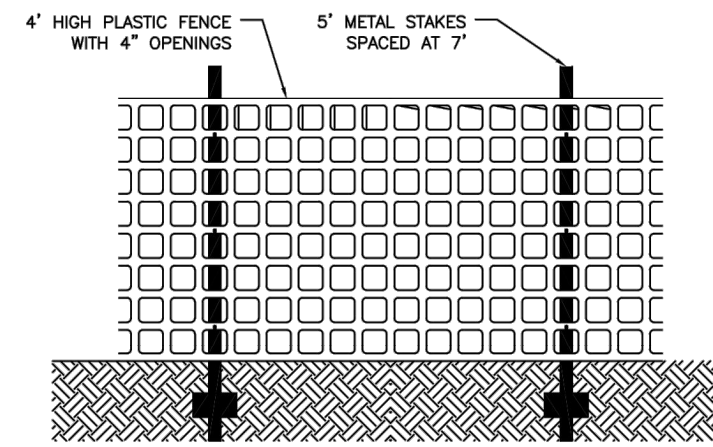


- NOTES:
1. TREE PROTECTION SHALL BE PROVIDED FOR ANY AND ALL TREES TO BE PROTECTED DURING AND AFTER CONSTRUCTION.
 2. 4 FOOT HIGH SNOW FENCE SHALL BE PLACED AT THE DRIP LINE OF THE TREE AND ENCIRCLE THE ENTIRE TREE.
 3. ROOTS SHALL NOT BE CUT IN ANY AREA INSIDE THE DRIP LINE OF THE BRANCHES.
 4. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH WITH TRUNK OR MAIN LIMB, GOOD GRADE OF TREE PAINT AND BE PERFORMED UNDER THE SUPERVISION OF A LICENSED NURSERYMAN.

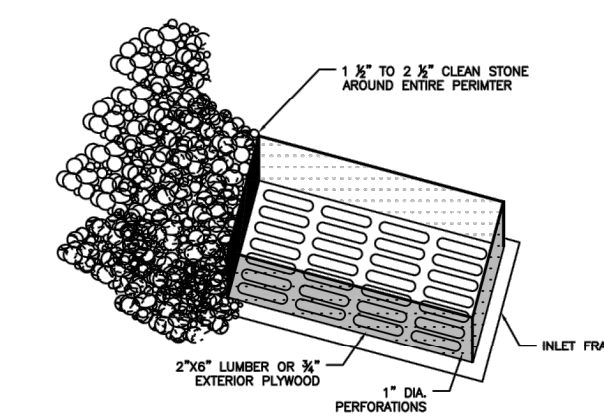
1 TREE PROTECTION AND LIMB REMOVAL
DT-6 N.T.S.



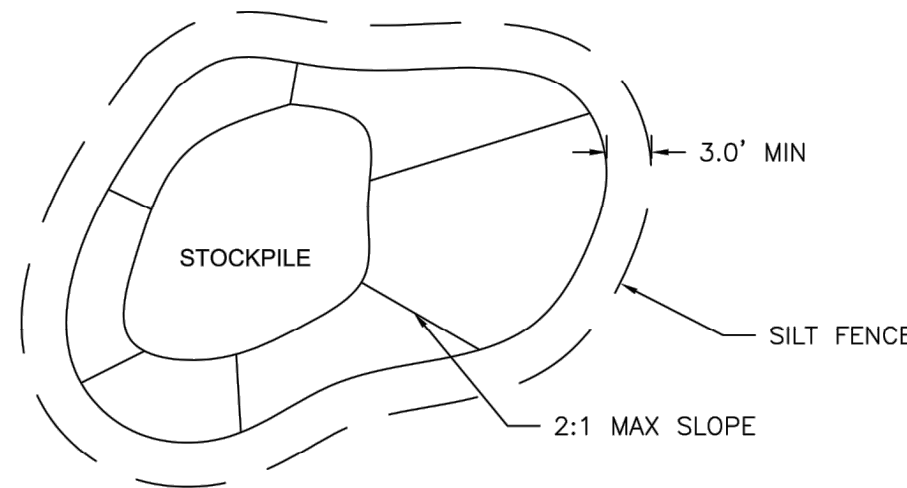
2 CONSTRUCTION ENTRANCE
DT-6 N.T.S.



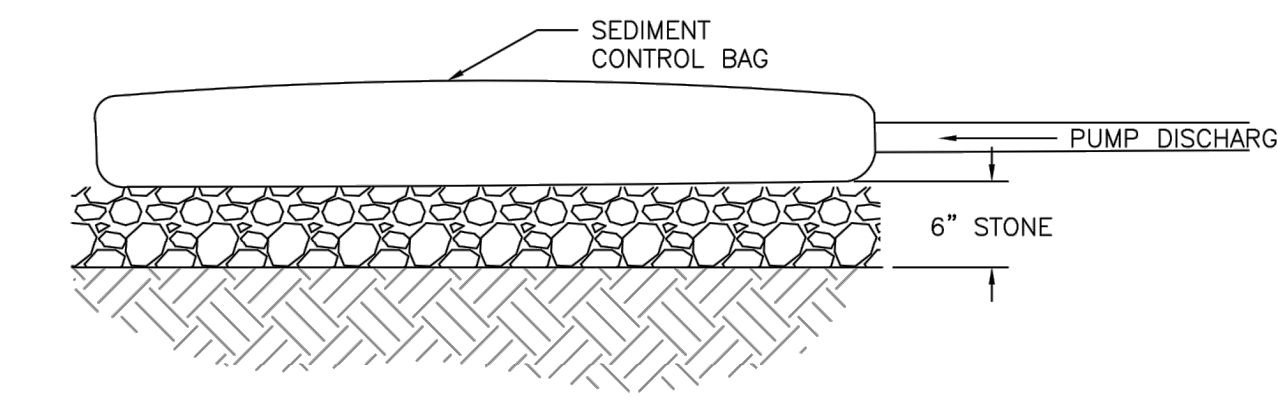
3 ORANGE BARRIER FENCE
DT-6 N.T.S.



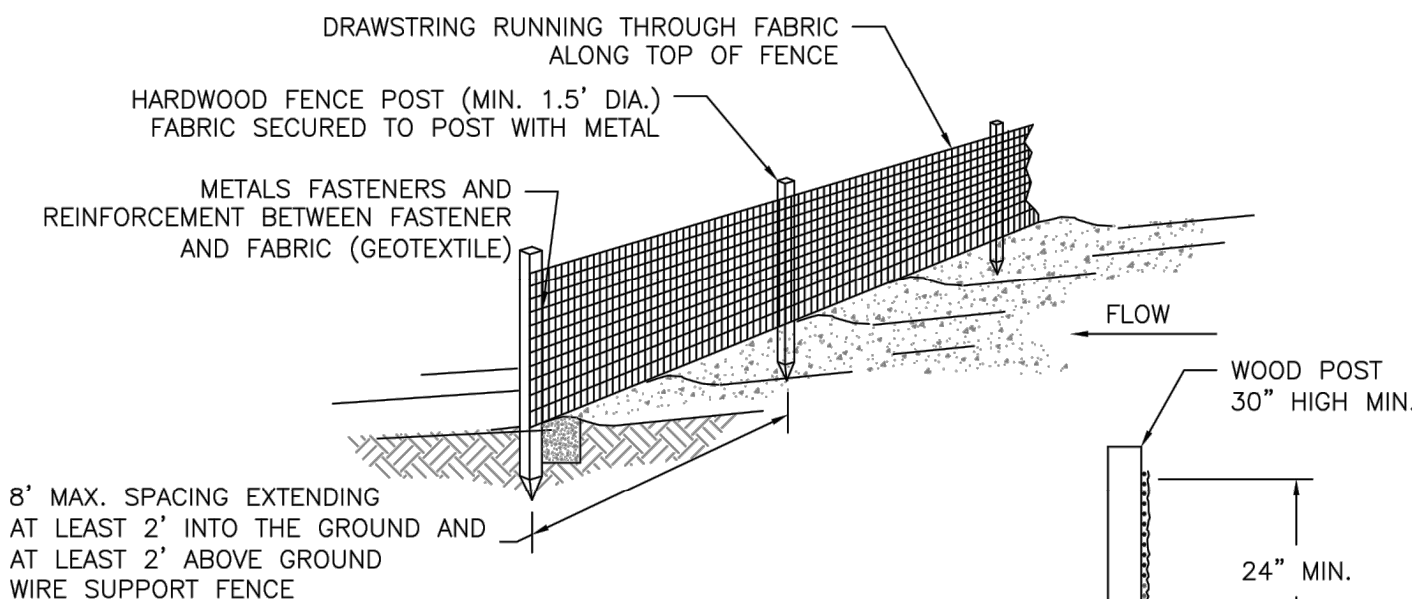
4 INLET PROTECTION
DT-6 N.T.S.



5 STOCKPIILING AREA DETAIL
DT-6 N.T.S.

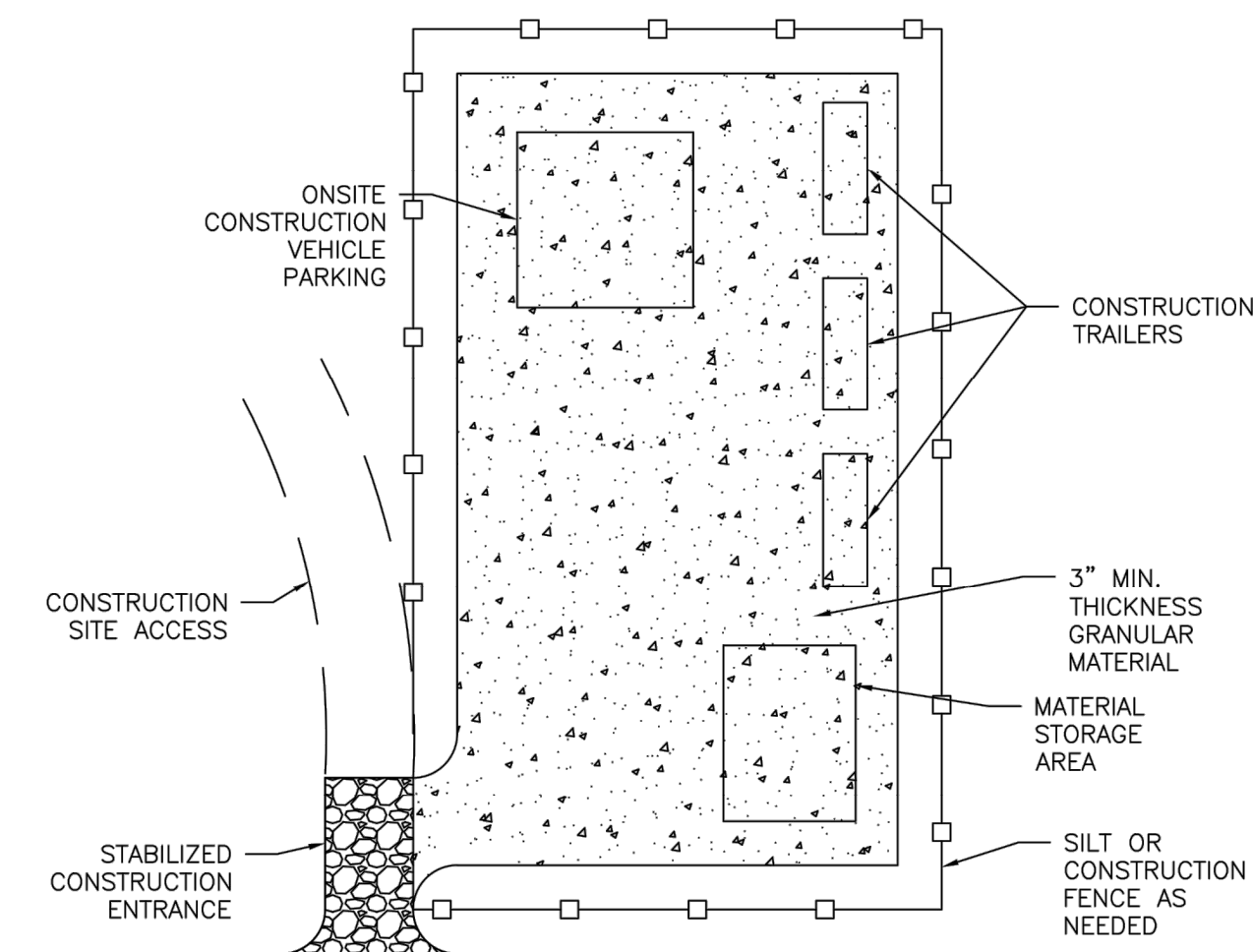


6 DEWATERING ELEVATION DETAIL
DT-6 N.T.S.

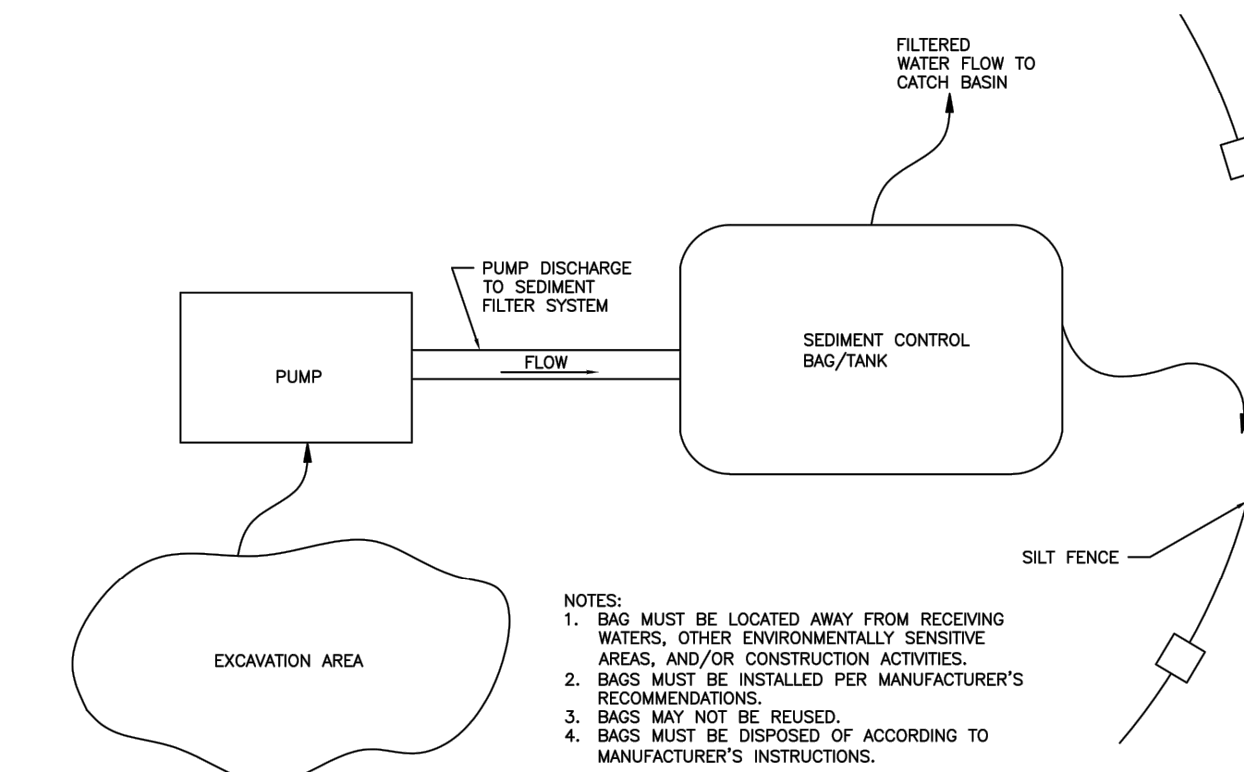


- NOTES:
1. SILT FENCE SHALL BE PLACED ALONG SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. (9\"/>

7 SILT FENCE
DT-6 N.T.S.



8 STAGING AREA DETAIL
DT-6 N.T.S.



- NOTES:
1. BAG MUST BE LOCATED AWAY FROM RECEIVING WATERS, OTHER ENVIRONMENTALLY SENSITIVE AREAS, AND/OR CONSTRUCTION ACTIVITIES.
 2. BAGS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 3. BAGS MAY NOT BE REUSED.
 4. BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

9 DEWATERING PLAN DETAIL
DT-6 N.T.S.

<p>PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF DIGITARY, GEODEMIC, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE</p> <p>FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>			
REV	DATE	DRAWN BY	DESCRIPTION

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Doing Business as **MASER**

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WOODBRIDGE TOWNSHIP

SOIL EROSION AND SEDIMENT CONTROL DETAILS

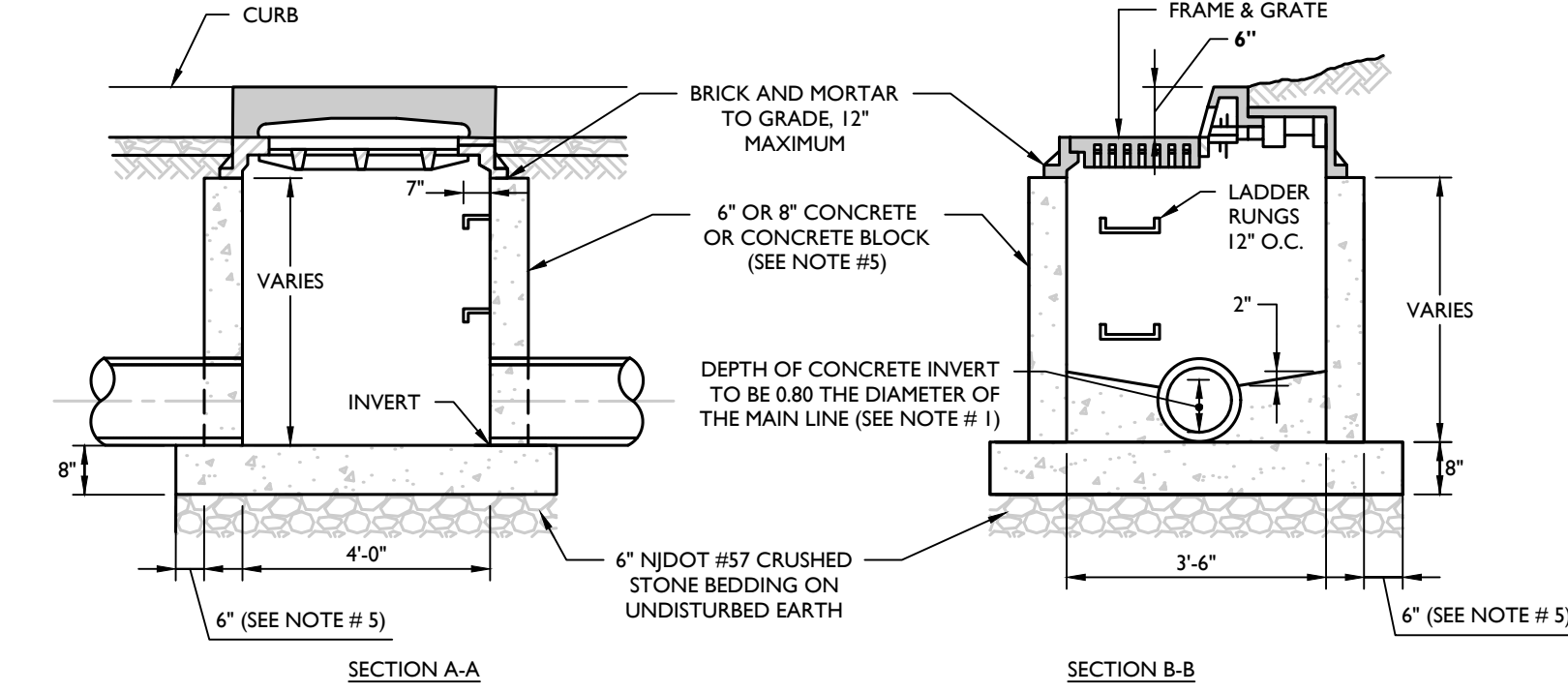
ROSS STREET AND N. JAMES STREET PARKING LOT

WOODBRIDGE TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
N.T.S.	7/31/23	CS	MJ
PROJECT NUMBER:	DRAWING NAME:		
23004014B	C-DTLS		
SHEET NUMBER:			

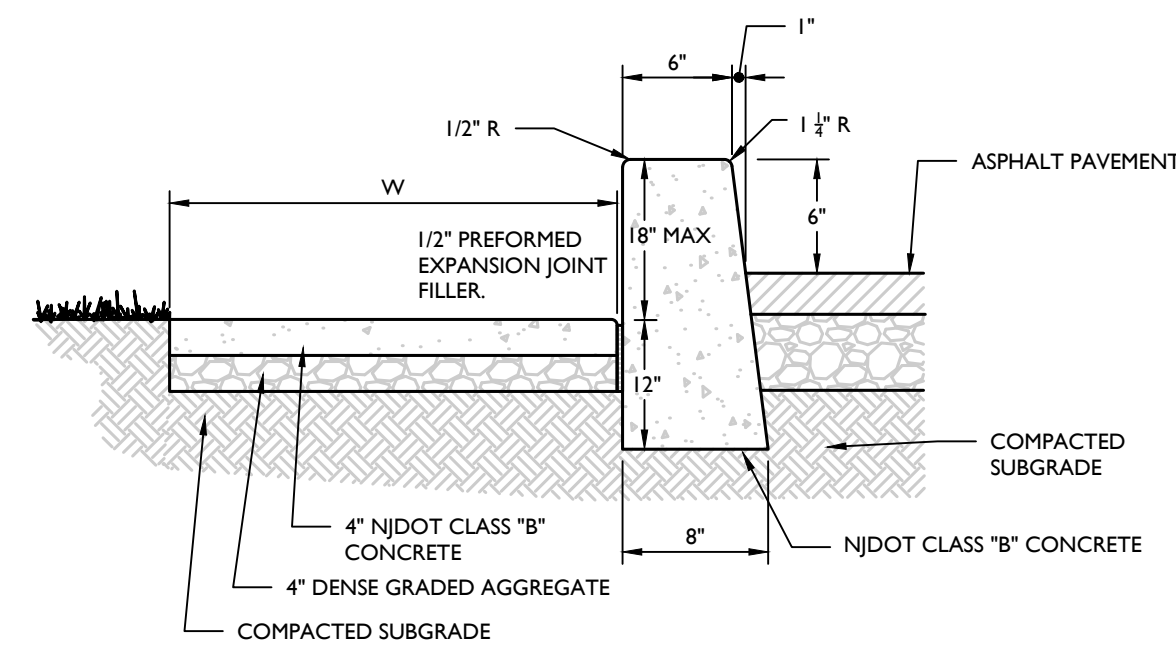
Mark J. Janiszewski
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: G645561
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 246A27986500

- NOTES:**
- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS, BOTTOMS SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT A RATE OF GRADE OF 2 INCHES PER FOOT.
 - THIS INLET SHALL BE CONSTRUCTED OF CONCRETE OR PRECAST CONCRETE. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALL JOINTS SHALL BE STRUCK AND POINTED.
 - PROVIDE 7/8" DIA. X 7" X 12", 12" O.C. COPOLYMER POLYPROPYLENE PLASTIC STEPS WITH 1/2" DIA. GRADE 60 STEEL REINFORCEMENT, P52-PF OR P52-B WITH PRECAST PRESS FIT INSERTS, OR APPROVED EQUIVALENT.
 - INLET FRAME AND GRATES TO BE CAMPBELL FOUNDRY # 2618 WITH 6" TYPE N ECO CURB PIECE, OR APPROVED EQUAL.
 - WHEN DEPTH IS GREATER THAN 12" THE WALLS SHOULD BE 8" THICK CONCRETE OR SOLID CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
 - ALL CONCRETE TO BE NJDOT CLASS "B".
 - IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATION.
 - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH H-20 LOADING REQUIREMENTS.



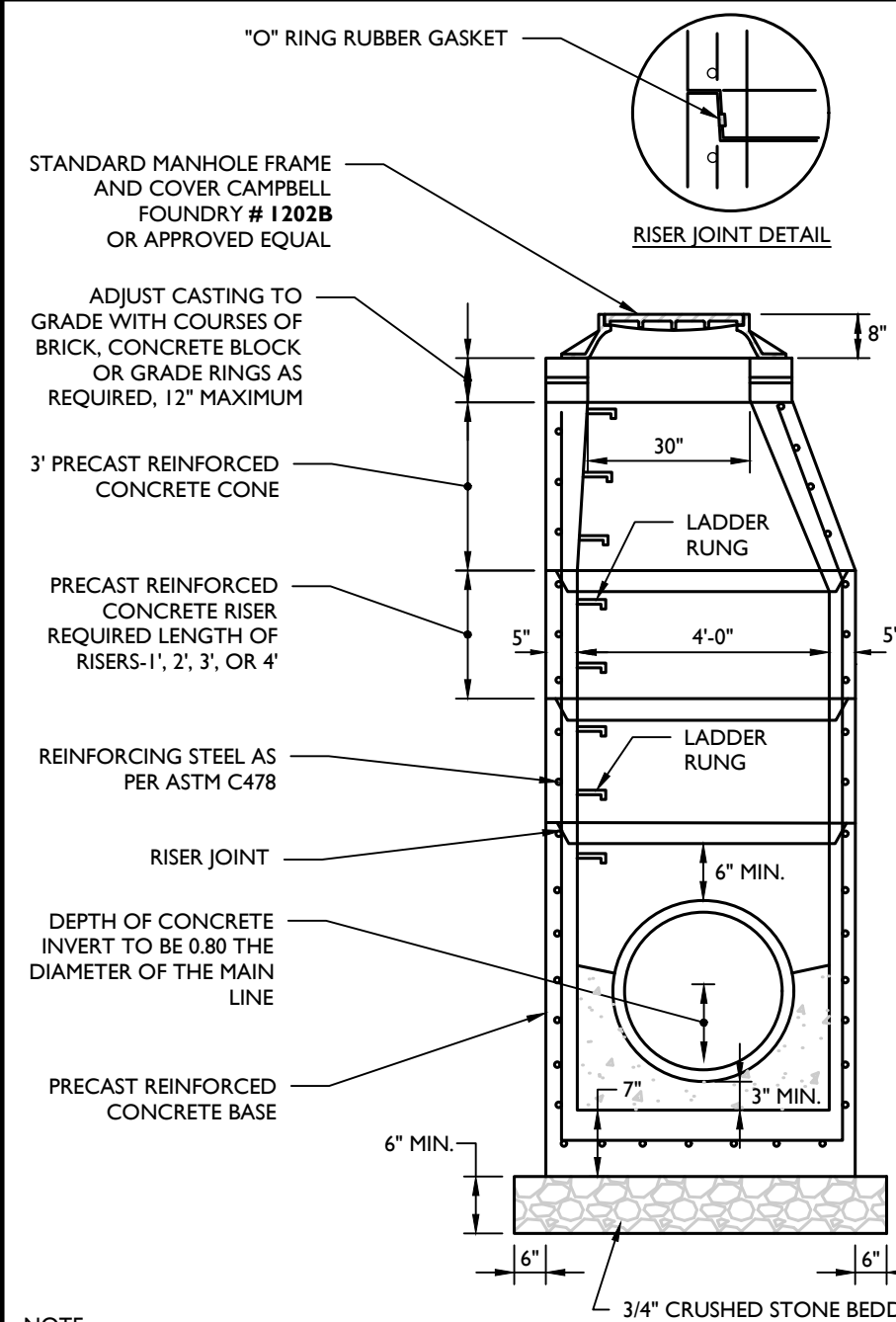
TYPE 'B' INLET DETAIL

DTL SCALE DTL NUMBER



- NOTES:**
- PREFORMED BITUMASTIC FIBER TRAVERSE JOINTS, 1/2" THICK AT 20' MAX. INTERVALS ALONG THE CURB.

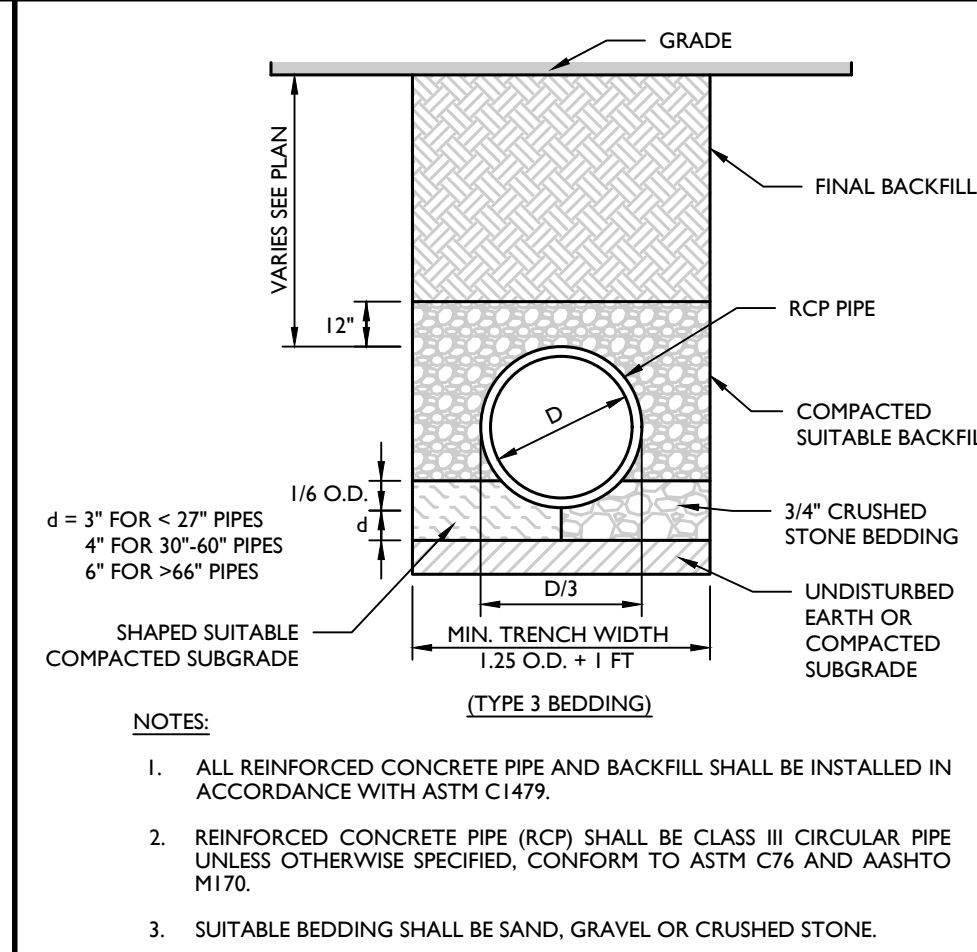
CONCRETE DROP CURB (ASPHALT PAVEMENT) DETAIL



- NOTE:**
- IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATION.
 - ALL CONCRETE TO BE NJDOT CLASS "B".
 - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH HS-25 LOADING REQUIREMENTS.

PRECAST CONCRETE STORM MANHOLE 4' DIA. DETAIL

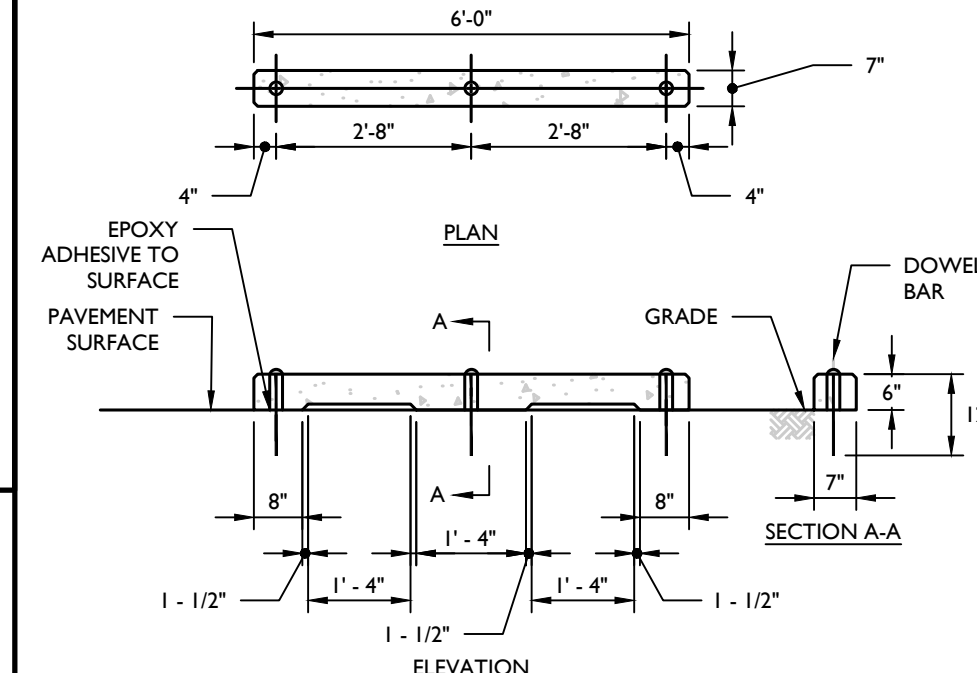
MODIFIED DTL DATE NOT TO SCALE MCNJ-UTIL-STRM-1600 07/01/21



- NOTES:**
- ALL REINFORCED CONCRETE PIPE AND BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C1479.
 - REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III CIRCULAR PIPE UNLESS OTHERWISE SPECIFIED, CONFORM TO ASTM C76 AND AASHTO M170.
 - SUITABLE BEDDING SHALL BE SAND, GRAVEL OR CRUSHED STONE.

RCP PIPE BEDDING DETAIL

NOT TO SCALE MCNJ-UTIL-STRM-2301 02/01/19



- NOTES:**
- CONCRETE SHALL BE NJDOT CLASS "B".
 - UNIT TO BE PINNED TO SURFACE WITH (3) 5/8" DIA. GALVANIZED STEEL RODS, 12" MINIMUM LENGTH.
 - ALL BEVELS TO BE 1/2". ALL ANGLES TO BE 45°

PRECAST CONCRETE BUMPER CURB WHEEL STOP (FOR CARS) DETAIL

NOT TO SCALE MCNJ-SITE-CURB-2301 05/01/17

GENERAL NOTES

- GENERAL NOTES**
- BOUNDARY SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR WOODBRIDGE TOWNSHIP BLOCK 545 LOTS 40.02, 46.02, 48, 53, 54 & 55", DATED JULY 25, 2023, PREPARED BY COLLIER'S ENGINEERING & DESIGN.
 - THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988. THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NJ S.P.C.S.) WAS ESTABLISHED AT THE PROJECT SITE BASED ON GPS OBSERVATIONS USING NATIONAL GEODETIC SURVEY MONUMENT STAMPED "B 11" PID K00024, ELEV.: 44.41, NAD 1983(1996) AS A BASE STATION.
 - THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
 - THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
 - DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
 - PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARKOUT.
 - TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
 - THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.
 - MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. RESIDENTIAL SITE IMPROVEMENT STANDARDS (N.J.A.C. 52:1).
 - B. NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2019, AS SUPPLEMENTED.
 - C. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - D. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - E. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, ROADS, UTILITIES, HYDRANTS, TREES, SHRUBBERY, GRASS AREA, ETC. THAT ARE NOT BEING REMOVED. DURING THE PROGRESS OF HIS WORK AND SHALL REMOVE FROM THE SITE ALL CUTTINGS, DRILLINGS, DEBRIS AND UNUSED MATERIALS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION, INCLUDING AT THE CONTRACTOR'S SOLE EXPENSE, THE REPLACEMENT OF GRASSED AREAS WHICH HAVE BEEN DAMAGED. SOG SHALL BE PLACED IN ALL DISTURBED LAWN AREAS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS DISTURBED BY THE CONSTRUCTION BACK TO THEIR ORIGINAL STATE, WHETHER INSIDE OR OUTSIDE OF THE CONSTRUCTION FENCE OR THE CONTRACT LIMIT.
 - ALL CURB, SIDEWALK, ROADWAY AND OTHER OFF SITE OBJECTS DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY EXCESS SOIL FROM THE SITE.
 - THIS IS A SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
 - DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
 - CONTRACTOR IS RESPONSIBLE FOR APPLICATIONS TO NJAW FOR NEW DOMESTIC AND FIRE WATER SERVICE.
 - ALL LAWN AREAS TO BE GRADED TO A 2% MINIMUM AND 2:1 MAXIMUM. ALL PAVED AREAS TO HAVE A MINIMUM 0.50% SLOPE AND A 5.0% MAXIMUM LONGITUDINAL SLOPE WITH A MAXIMUM CROSS SLOPE OF 2%.
 - THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
- UTILITY NOTES**
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE GROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
 - UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES AND OWNER.
 - STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT, ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
 - CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 - PRIOR TO ANY CONSTRUCTION, SHOP DRAWINGS FOR ALL DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL.

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF UTILITIES BEFORE EXCAVATION OR PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

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WOODBRIDGE TOWNSHIP
CONSTRUCTION DETAILS
ROSS STREET AND N. JAMES STREET PARKING LOT
WOODBRIDGE TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
N.T.S.	7/31/23	SLD	MJJ
PROJECT NUMBER:	DRAWING NAME:		
23004014B	C-DTLS		
SHEET NUMBER:			
Mark J. Janiszewski NEW JERSEY LICENSED PROFESSIONAL ENGINEER LICENSE NUMBER: G645561 COLLIERS ENGINEERING & DESIGN, INC. N.J. C.O.A. #: 24GA27986500			

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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

